



SUMTER COUNTY ZONING AND ADJUSTMENT BOARD

910 N. Main Street, Suite 301, Bushnell, FL 33513
Tel. (352) 793-0270 Fax (352) 793-0274

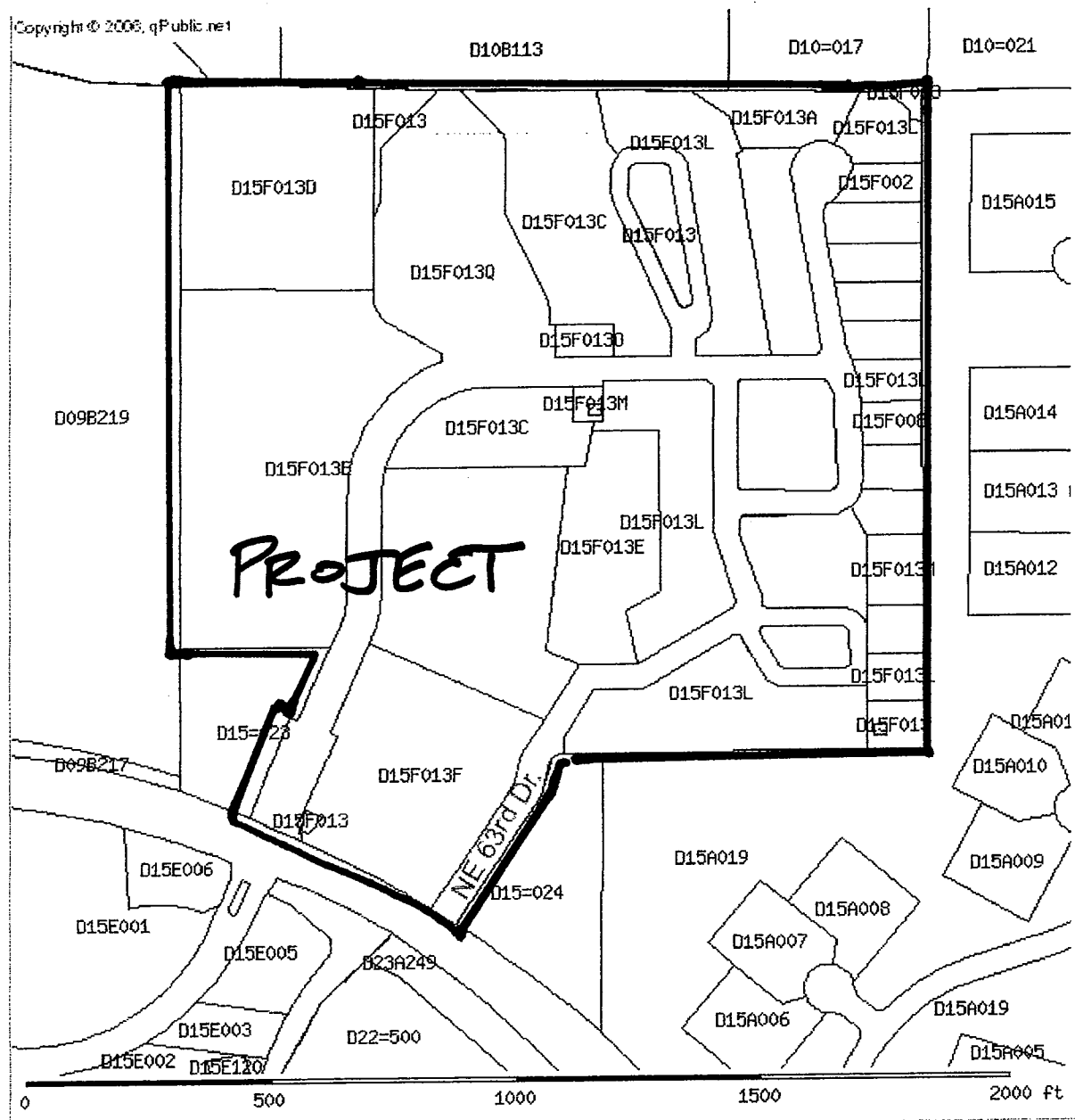
Project No: R2009-0001

Application: 12/10/2008 BC

REZONING

PROJECT TYPE REZONING		PROJECT SUBTYPE RPUD/RVPUD Major		PROJECT DESCRIPTION RPUD Amendment for Village Parc Centre	
OWNER I, & N INVESTMENTS INC & ORANGE		ADDRESS 108 S OLD DIXIE HWY, LADY LAKE, FL 32159		PHONE 352	
AGENT/APPLICANT Robert Woods, Jr.		ADDRESS		PHONE 352	
PARCEL # D15F013	SEC/TWP/RNG 151823	GENERAL		DIRECTIONS TO PROPERTY N ON US 301. E ON C-466. PROPERTY ON THE N SIDE OF THE ROAD, APPROX 1/4 MILE E OF BUENA VISTA BLVD.	
Property Address C-466, The Villages, FL 32162					
PARCEL SIZE		F.L.U.		LEGAL DESCRIPTION	
PRESENT ZONING		PRESENT USE			
REQUESTED REZONING		REZONED ACREAGE		REZONED LEGAL DESCRIPTION	
ABUTTING PROPERTY ZONING/USE F.L.U.	NORTH	EAST		SOUTH	WEST
<p>As owner/agent, I agree to post the hearing plaques within 24 hours on the property's road frontage at the corners and at 300' intervals between. I understand any action on my application will be governed by Sumter County's Comprehensive Plan and Development Code, and my payment of the non-refundable application fee will not influence the decision made on this application.</p>					
<p>UNDER PENALTIES OF PERJURY, I DECLARE THE ABOVE INFORMATION THAT I HAVE GIVEN TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.</p>					
<hr/>					December 10, 2008
Signature(s)					Date
<p>A Public Hearing before the Zoning and Adjustment Board will be held on the date indicated below in the Sumter County Courthouse, Bushnell, FL. This application will be heard at the time indicated below. Your appearance or representation at this hearing is required, and lack of same will cause your application to be disposed of according to the policy adopted by the Board of County Commissioners. The recommendation of the Zoning and Adjustment Board on this request will be presented to the Board of County Commissioners at a Public Hearing to be held at the date/time indicated below in the Sumter County Courthouse, Bushnell, FL, room number indicated below.</p>					
<hr/>					
NOTICES SENT		RECEIVED IN FAVOR		RECEIVED OBJECTING	
<p>Please Note: In preparation of the application, county zoning staff will visit the site to take photographs. This will be done in county-marked vehicles. Generally, staff will take photographs from the roadway or easement, and will not come on site unless access requires it.</p>					

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March 20, 2009

Sumter County Planning & Zoning
209 N. Florida Avenue
Bushnell, Florida 33513

RE: Authorization as Agent
Village Parc Centre – RPUD Rezoning

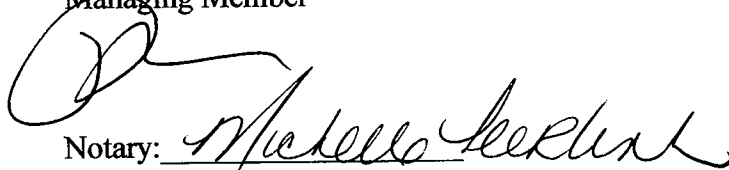
To Whom it May Concern:

This letter will serve as authorization to allow David W. Springstead, P.E. to sign as the owner's agent for the purpose of submitting RPUD Rezoning Application for the above referenced project.

Please contact me if you require additional information.

Sincerely,

Managing Member


Notary: Michelle Teerlink

(seal)





NOTICE OF PUBLIC HEARING

3 Pages
Via Fax

November 19, 2009

DRAKE STEPHEN J & SHIRLEY A
2756 CUTTERS COR
LADY LAKE, FL 32162

To property owners whose property boundaries are within a distance of 150 feet of the outside perimeter of property in the name of I & N INVESTMENTS INC, Etal. This property is being considered for rezoning at a public hearing.

CASE# R2009-0001 Amendment to RPUD Zoning and Development Agreement

A public hearing before the Zoning and Adjustment Board will be held at Colony Cottage Recreation Center, Tea/Study Room, 510 Colony Blvd, The Villages, Florida 32162 on Monday, December 7, 2009 at 6:30 p.m.

The property is located as follows: North on US 301. East on C-466. The property is located on the north side of the road, approximately 1/4 mile east of Buena Vista Boulevard.

The recommendations of the Zoning and Adjustment Board will be presented to the Sumter Board of County Commissioners at a public hearing to be held in Room 142, 910 North Main Street, Bushnell, Florida, on Tuesday, December 29, 2009 at 5:30 p.m.

Written comments filed with the Zoning and Adjustment Board, 910 North Main Street, Suite 301, Bushnell, Florida, 33513, will be heard. Hearings may be continued from time to time as found necessary. Any questions you may have should be directed to: SUMTER COUNTY ZONING AND BUILDING DEPARTMENT, 910 North Main Street, Suite 301, Bushnell, Florida, 33513.

☒ I approve of the above, as long as Section 10.6, copy attached, remains part of the new proposed MOA that will be approved.
☐ I do not approve of the above for the following reason(s):

Please return no later than November 30, 2009

RE: CASE# R2009-0001

draft

SHG DRAFT 9/16/09

10.3 Lot Size. No minimum lot size shall be required. However, all required setbacks must be provided.

10.4 Lot Width. No minimum lot width is required. However, all required setbacks must be provided.

10.5 Setbacks. Setbacks for individual lot or tracts in the Property shall be consistent with the approved Site Plan.

10.6 Western/Eastern Boundary.

10.6.1 There shall be constructed and maintained a thirty foot (30') irrigated landscape buffer and stack block wall along the eastern boundary of the Property as depicted on Sheet No. 45 of the Construction Plans For The Village Park Center Downtown & Residential For Village Park Investors, LLC, as prepared by Springstead Engineering, Inc., under Job Number 031001.007, dated 3/08. Installation of the buffer and stack block wall must be completed on or before the first of the following dates to occur: (1) the date of issuance of the first Certificate of Occupancy for a residence or model in the Estate section of the Property; or (2) March 1, 2010.

10.6.2 The irrigation system shall be provided for all shrubs and trees in the buffer, designed to deliver adequate water on a regular basis throughout the natural life of the landscaping; the system shall be designed, installed, operated, and maintained in accordance with the Florida Irrigation Society's "*Standards and Specifications for Landscape Irrigation Systems*," current edition.

The irrigated landscape buffer shall be maintained in perpetuity, to achieve and preserve the intended dense screen of healthy shrubs and trees, and aided by such maintenance to thrive and grow to their full mature and natural form and habit. This perpetual maintenance shall include:

10.6.2.1 Provision and replenishment of pine straw mulch around all shrubs and trees to maintain soil moisture and minimize competing weed growth.

10.6.2.2 Regular removal and treatment for weeds in the turf and planted areas.

10.6.2.3 Regular mowing of turf to maintain a neat, pasture-like appearance; line trimming and edging of turf at bed lines, walls, and fence lines visible from Glen Hollow Farms.

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minimum period of four (4) years, to achieve the required mature growth and opacity of foliage.

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10.7 **Architecture Standards.** The architectural design and exterior elevations of all proposed structures on the Property shall be designed in conformance with the architectural and elevation renderings provided in the "Master Planning & Conceptual Design Package for Village Parc Centre" dated August 21, 2008, prepared by Burke Hogue & Mills Architecture and Interior Design, which has been submitted by Current Owners to County and approved by County. Current Owners shall implement these architecture standards requirement through the recordation of restrictive covenants under which architectural standards are controlled by an Architectural Review Board, or a similar entity, originally controlled by Current Owners or their designee and controlled after build-out by representatives of Owners of parcels of the Property.

10.8 **Parking Areas.** Each paved parking space located on the Property shall contain a rectangular area not less than twenty (20) feet in length and ten (10) feet in width. Each paved handicap parking space shall contain a rectangular area of not less than twenty (20) feet in length and twelve (12) feet in width. All handicap parking areas shall follow the guidelines of the Florida Accessibility Code, Section 11-46, Florida Administrative Code. Lines demarcating parking spaces may be drawn at various angles in relation to curbs or aisles, so long as parking spaces created are contained within the required rectangular areas. The number of required parking spaces shall be in accordance with the Schedule shown on the attached Exhibit "G".

11. **Intersection Signalization.** If County, within one (1) year of the Effective Date of this Agreement, requests that Current Owners submit to County for its review a traffic signal warrant analysis for the potential signalization of the intersection of NE 62nd Terrace and Highway-CR 466 then the following provisions shall be applicable:

11.1 Current Owners shall immediately procure, at their expense, a traffic signal warrant analysis prepared by qualified engineers, in accordance with methodology approved by County.

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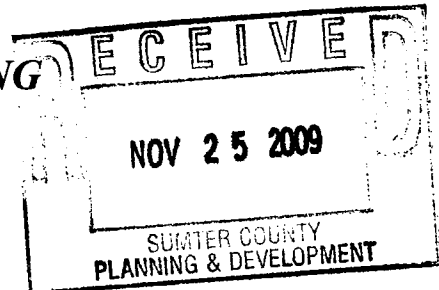
Board of Sumter County Commissioners

Division of Planning & Development

Planning Department

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SunCom: 665-0270 • Website: <http://sumtercountyfl.gov/plandevlop>

NOTICE OF PUBLIC HEARING



November 19, 2009

GLEN HOLLOW HOMEOWNERS, ASSOCI
1100 MAIN ST
THE VILLAGES, FL 32159

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[Signature]
President, GHFHOA

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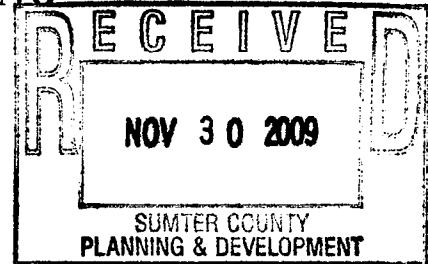
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NOTICE OF PUBLIC HEARING

November 19, 2009

WAGGONER DONALD L & BONNIE L
2776 LIVERY LN
LADY LAKE, FL 32162



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☐ I do not approve of the above for the following reason(s): _____

Please return no later than November 30, 2009

RE: CASE# R2009-0001

Donald Waggoner *Bonnie L Waggoner*

draft

SHG DRAFT 9/16/09

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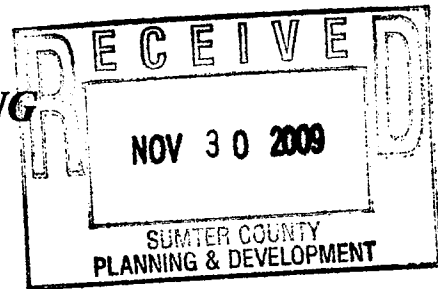
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NOTICE OF PUBLIC HEARING



November 19, 2009

MICHAEL BERNING
2757 GLEN HOLLOW WAY
THE VILLAGES, FL 32162

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A large, stylized handwritten signature in black ink.

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MCDOWELL DODD P & JILL M
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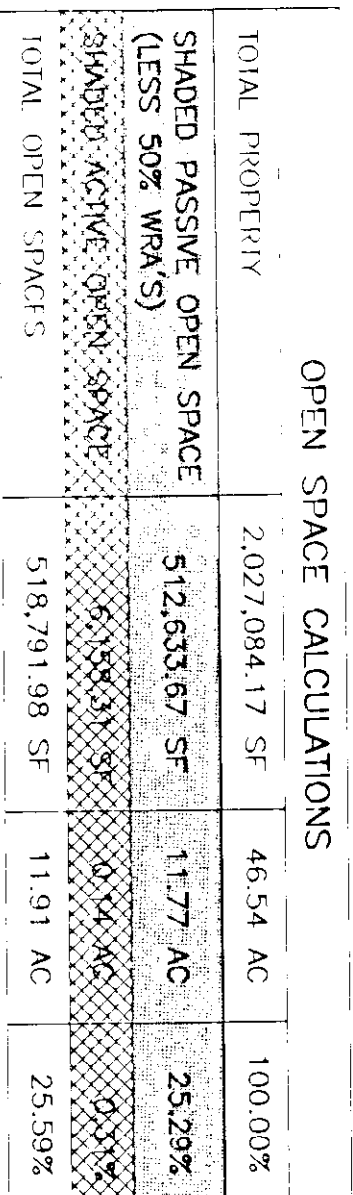
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Michael Dade MICHAEL DADE 2856 CARRIAGE CT.
THE VILLAGES, FL 32162

Please return no later than November 30, 2009

RE: CASE# R2009-0001

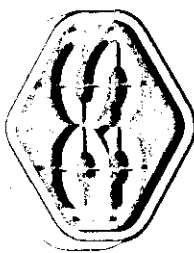
President, GHFHOA



REV.	BY:	DESCRIPTION	DATE	DRAWN
	JRH	SUMTER CO COMMENTS, SETBACKS.	11/2/09	JRH
	JRH	REV COMM BLDG "C", ROAD "J" AS NE 83rd LOOP.	10/9/09	JRH
	JRH	REV ROADS AT WWTF.	9/15/09	JRH
	JRH	REV LEGAL DESC, OPEN SPACE AT WRA-A/WWTF.	8/28/09	JRH
	NAV/JRH	REVISED CALLS ON TOWNHOMES, NEW OPEN SPACE AREAS.	7/22/09	NAV/JRH
	JRH	REV AS PER DRC COMMENTS.	5/20/09	JRH
	JRH	REMOVE PARKING ISLANDS, ADD HARDSCAPE AREAS.	5/18/09	JRH
	JRH	REV SHADE ON WRA'S.	12/22/08	JRH
	JRH	ADD EASEMENT AREA TO OPEN SPACE CALC.	12/8/08	JRH
	JRH	CALCULATE TOTAL OPEN SPACE PER SITE MODS.	10/2/08	JRH
	JRH	CALCULATE TOTAL OPEN SPACE.	2/28/08	JRH

CLIENT:	PROJECT:	DRAWING:
VILLAGE PARK INVESTORS, LLC	VILLAGE PARC CENTRE	PRELIMINARY/ENGINEERING OPEN SPACE PLAN

1 of 1



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SUBDIVISION SPECIFICATIONS

STACK-BLOCK RETAINING WALL

1. GENERAL

- 1.1 Scope
- 1.1.1 The work shall consist of furnishing and construction of a stack-block retaining wall system of equal in accordance with these specifications and in close conformity with these specifications and with the intent, purpose, design, and dimensions shown on the plans, and shall be subject to the approval of the Engineer. Retaining Wall Units shall be manufactured under the license of Anchor Wall Systems or approved equal.
- 1.1.2 The CONTRACTOR shall submit the construction drawings and design calculations to the ENGINEER for approval prior to beginning construction.

1.2 Definitions

- 1.2.1 Geosynthetic Wall Reinforcement - Structural Geosynthetic material with apertures of sufficient size to allow interlocking with surrounding soil, rock, or earth and function primarily as reinforcement.
- 1.2.2 Modular Unit - a concrete retaining wall element machine made from Portland cement, water, and aggregates.
- 1.2.3 Rock Backfill - drainage aggregate which is placed within and immediately behind the modular concrete units.
- 1.2.4 Soil Backfill - compacted soil which is placed within the reinforced soil volume as outlined on the plans.

1.3 References

- 1.3.1 American Society of Testing and Materials (ASTM)
- 1.3.1.1 ASTM C930-90: Hollow Load Bearing Masonry Units
- 1.3.1.2 ASTM C895-90 (Mod.): Test Method for Resistance of Concrete to Rapid Freezing and Thawing (modified to 50 cycles)
- 1.3.1.3 ASTM C895-91: Test Method for Laboratory Compaction Characteristics of Soil Using Standard Effort
- 1.3.1.4 ASTM D1557-91: Test Method for Laboratory Compaction Characteristics of Soil Using Modified Effort
- 1.3.1.5 ASTM D4458-98: Standard Classification for Sizes of Aggregate for Road and Bridge Construction
- 1.3.1.6 ASTM D2959, D6924: Standard Test Methods for Maximum and Minimum Index Density

1.4 Submittals

- 1.4.1 Submit the following:
- 1.4.1.1 Manufacturer's literature: Materials description and installation instructions.
- 1.4.1.2 Shop Drawings: Retaining wall system design including wall heights, geosynthetic reinforcement and drainage layout provisions.
- 1.4.1.3 Samples:
- 1.4.1.3.1 If requested by the ENGINEER, furnish one unit of sample in the color and face pattern specified. If approved, unit may be used in the finished work.
- 1.4.1.3.2 Furnish one 12" square (or larger) piece of specified geosynthetic reinforcement.
- 1.4.1.4 Manufacturer's certification and test reports stating moisture absorption and compressive strength in accordance with ASTM C930-90.

2. MATERIALS

- 2.1 High strength, high density concrete units, freeze-thaw resistant with top locator providing a 4" setback from plane with each course.
- 2.1.1 Concrete wall units shall meet requirements of ASTM C930-90 except compressive strength shall be a minimum of 6,000 psi and the maximum water absorption shall be limited to 7.0%.
- 2.1.2 The Concrete wall units shall have adequate freeze thaw resistance in accordance with ASTM C660-90, modified to 50 cycles.
- 2.1.3 Exterior dimensions may vary. Concrete wall units are required to have a minimum of approximately 1.0 sq. ft. face area.
- 2.1.4 Color will be selected by the ENGINEER from Manufacturer's standard selections or will be a custom color as specified by the OWNER.
- 2.1.5 Concrete all units will be as specified by ENGINEER or OWNER with regard to face pattern, geometry - beveled or straight, and texture - smooth or rock-split face.
- 2.1.6 The concrete units shall be positively interlocked with integral shear connections.
- 2.1.7 Unit dimensions shall not vary more than ±1/8" from that in any molded dimension.
- 2.2 Geosynthetic reinforcement
- 2.2.1 Polyester woven fiber geogrid, polyethylene or premium polypropylene expanded sheet geogrid woven geotextile for use as soil reinforcement.
- 2.3 Base
- 2.3.1 Material shall consist of drainage aggregate, sand, gravel and/or concrete as shown on the construction drawings. A minimum of 6" of compacted base is required.

- 2.4 Drainage aggregate
- 2.4.1 Fill between units shall consist of free-draining coarse aggregate in accordance with ASTM A49-98 and Standard Classification for Sizes of Aggregate for Road and Bridge Construction - Designation 57.67, 67 or 8.

2.5 Backfill

- 2.5.1 Materials are on-site soils unless otherwise specified in the drawings.
- 2.6 Drain tile
- 2.6.1 Drain tile shall be used if required by the ENGINEER.

3. CONSTRUCTION

- 3.1 The Supplier will deliver and handle materials in such manner as to prevent damage. The CONTRACTOR shall construct the wall in accordance with the drawings. Materials shall be stored above ground on wood pallets or blocking. Damaged or obsolete materials shall be removed, when so determined from the site. Faces of the concrete units shall be free of chips, cracks, and stains. The CONTRACTOR shall prevent excessive mud, wet cement, epoxy and like material, which may sink themselves, from coming in contact with the materials.
- 3.2 The CONTRACTOR shall examine the areas and conditions under which the retaining wall is to be erected and notify the ENGINEER in writing of conditions detrimental to the proper and timely completion of the work. The CONTRACTOR shall not proceed with the work until unsatisfactory conditions have been corrected.
- 3.3 The CONTRACTOR shall excavate to the lines and grades shown on the construction drawings. Over-excavation shall not be paid for and replacement with compacted fill and/or wall system components will be required at the CONTRACTOR's expense. The CONTRACTOR shall be careful not to disturb the base beyond the lines shown.
- 3.4 Foundation Preparation
- 3.4.1 Foundation soil shall be excavated as required for footing or base dimension shown on the construction drawings, or as directed by the ENGINEER.
- 3.4.2 Foundation soil shall be examined by the ENGINEER to ensure that the actual foundation soil strength meets or exceeds the design that requires on the construction drawings. Soil not meeting the required strength shall be removed and replaced with acceptable material.
- 3.4.3 Over-excavated areas shall be filled with compacted backfill material.
- 3.4.4 Foundation soil shall be proof-rolled prior to fill and geosynthetic reinforcement placement.

3.5 Base Course Preparation

- 3.5.1 Base materials shall be placed as shown on the construction drawings with a minimum thickness of 6".
- 3.5.2 Base materials shall be installed upon undisturbed soils.
- 3.5.3 Material shall be compacted so as to provide a level, hard surface on which to place the first course of base. Compaction will be performed to specifications as required by the ENGINEER.
- 3.5.4 Base materials shall be prepared to ensure complete contact of retaining wall unit with base. Gaps shall not be allowed.
- 3.5.5 Base materials shall be to the depths and widths shown. The CONTRACTOR may opt for using reduced depth of sand and/or gravel and 1"-2" concrete toppings. Concrete shall be lean, unreinforced and a maximum of 2" thick.

3.6 Wall Construction

- 3.6.1 Erect units in accordance with Manufacturer's recommendations and as specified herein.
- 3.6.2 First course of concrete wall units shall be placed on the prepared base material. Units shall be checked for level and alignment. The top of all units in base course shall be at the same elevation.
- 3.6.3 Ensure that concrete wall units are in full contact with base.
- 3.6.4 Concrete wall units shall be placed side by side for full length of wall alignment. Alignment may be done by using a string line or offset or wall line.
- 3.6.5 Fill all voids within and between concrete wall units with free-draining aggregate.
- 3.6.6 A minimum of 6" of free-draining aggregate shall be placed behind the concrete wall units.
- 3.6.7 Remove all excess fill from top of concrete wall units and install next course. Ensure drainage aggregate and backfill are compacted before installation of next course.
- 3.6.8 Install each succeeding course so the side slots are in contact with the locator. Put the units forward until the side slot of the unit touches the back of the locator of the previous course. Backfill as each course is completed.
- 3.6.9 Install geosynthetic reinforcement in accordance with retaining wall Manufacturer's recommendations.
- 3.6.10 Reinforcement shall be oriented with the highest strength axis perpendicular to the wall alignment.
- 3.6.11 Reinforcement shall be placed at the elevations and in the extent shown on the construction drawings or as directed by the ENGINEER.
- 3.6.12 Reinforcement shall be laid horizontally on compacted backfill. Place the next course of modular concrete units over reinforcement. Reinforcement shall be pulled taught, and anchored prior to backfill placement on the reinforcement.

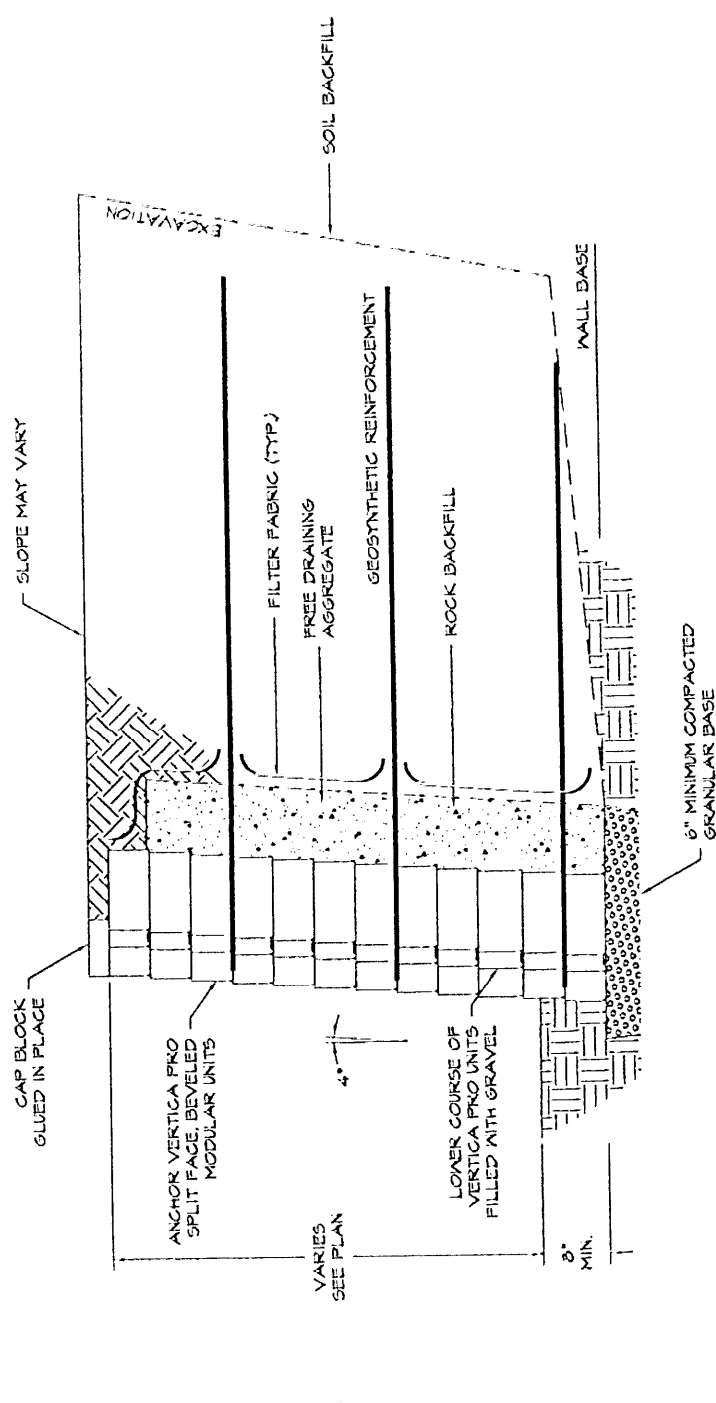
- 3.6.13 Reinforcements shall be continuous throughout their embedment lengths. Splice connections between shorter pieces of reinforcement are not allowed unless pre-approved by the Architect/ENGINEER prior to construction.

3.7 Soil Backfill Placement

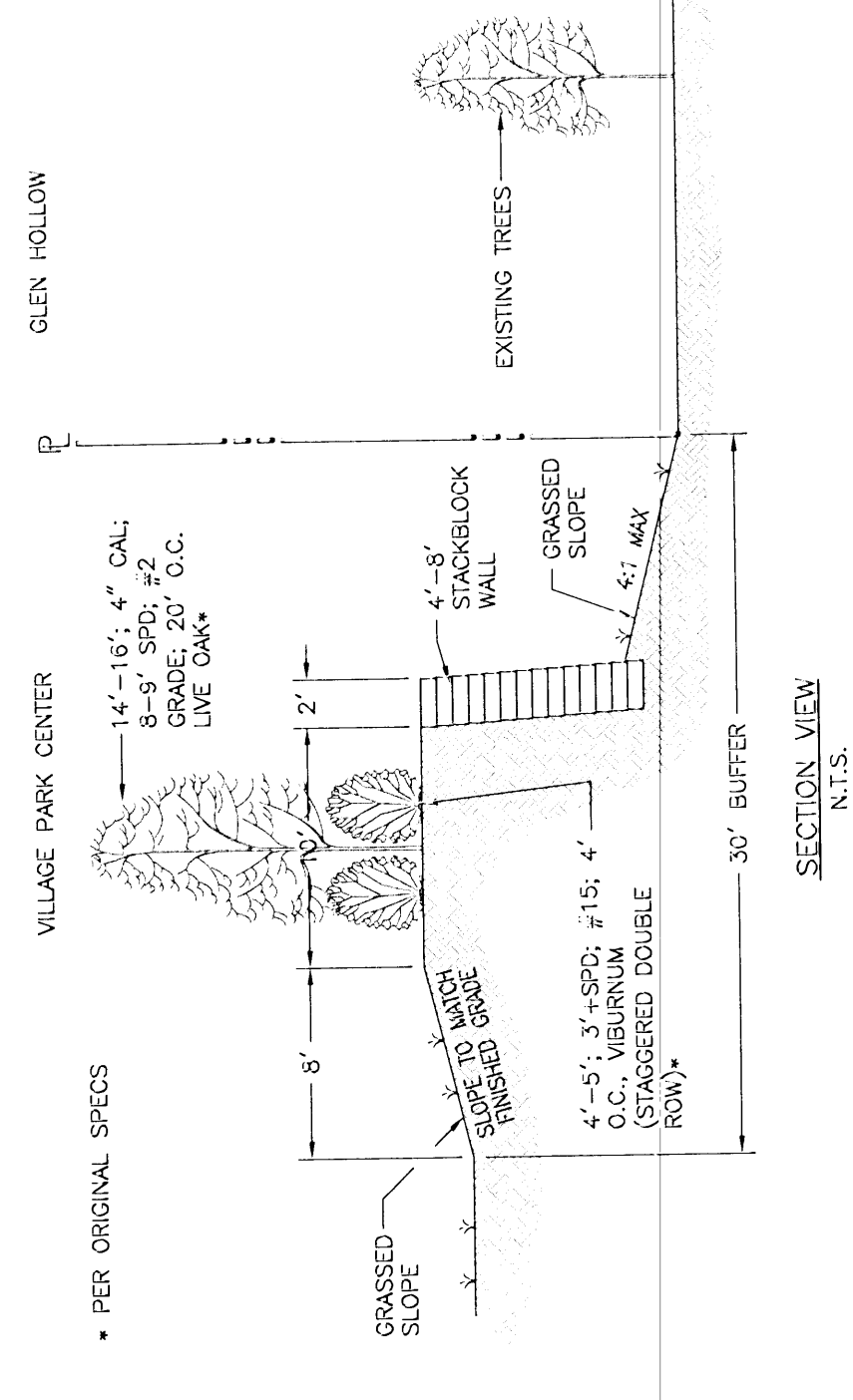
- 3.7.1 Soil backfill shall be placed, spread, and compacted in such a manner that minimizes the development of shear on the geosynthetic wall reinforcement.
- 3.7.2 Soil backfill shall be placed and compacted in lifts not to exceed 3" where hand compaction is used, or 12" where heavy compaction equipment is used.
- 3.7.3 Soil backfill shall be compacted to 95% of the maximum density as determined by ASTM D1557. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be within 2 percentage points dry of optimum.
- 3.7.4 Only lightweight hand-operated equipment shall be allowed within 3' from the tail of the modular concrete unit.
- 3.7.5 Tracker construction equipment shall not be operated directly upon the geosynthetic wall reinforcement. A minimum lift thickness of 6" is required prior to operation of tracked vehicles over the geosynthetic wall reinforcement. Tracked vehicle treading should be kept to a minimum to prevent tracks from displacing the lift and damaging the geosynthetic wall reinforcement.
- 3.7.6 Rubber tired equipment may pass over geosynthetic wall reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
- 3.7.7 At the end of each day's operation, the CONTRACTOR shall slope the last lift of soil backfill away from the wall units to direct runoff away from wall face. The CONTRACTOR shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.8 Cap Unit Installation

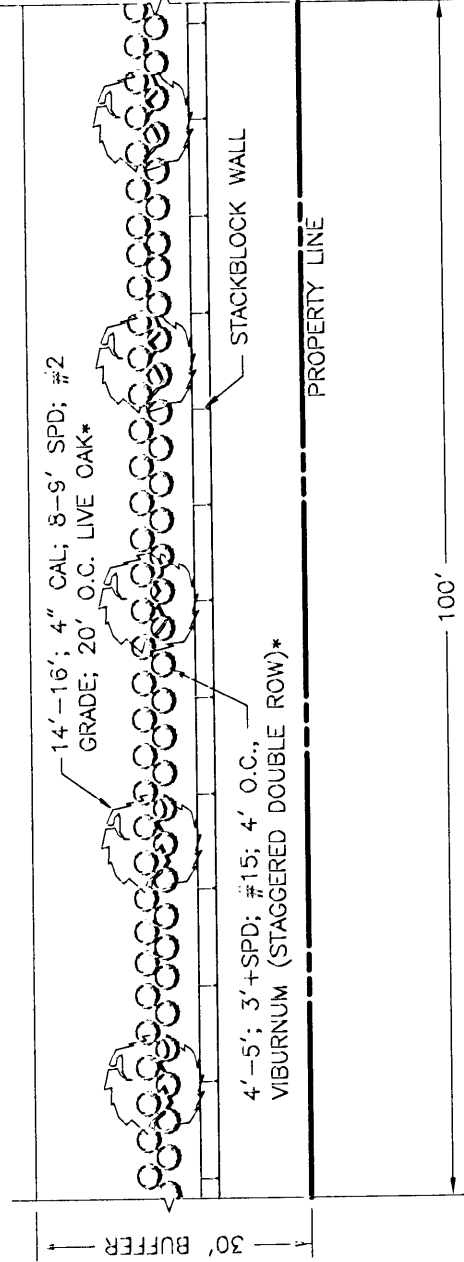
- 3.8.1 Apply construction adhesive to the top surface of the unit below and place the cap unit in desired position.
- 3.8.2 Cap units may need to be dug out to obtain the proper fit.
- 3.8.3 Backfill and compact to finish grade.
- 3.9 Damage Control and Close Up
- 3.9.1 Damaged units should be replaced with new units during construction.
- 3.9.2 CONTRACTOR shall remove debris caused by this construction and leave adjacent paved areas broom clean.



STACK-BLOCK RETAINING WALL
N.T.S.



SECTION VIEW
N.T.S.



PLAN VIEW
N.T.S.

EAST LINE BUFFER DETAIL

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CLIENT: VILLAGE PARK INVESTORS, LLC
PROJECT: VILLAGE PARK CENTRE
DRAWING: STACK BLOCK WALL SPECIFICATIONS
DESIGN: JRH
CHECKED: JRH
DATE: 3/08
SCALE: AS SHOWN
JOB NO.: 0310015.007
SHEET: 45
OF: 46
10/3/2008